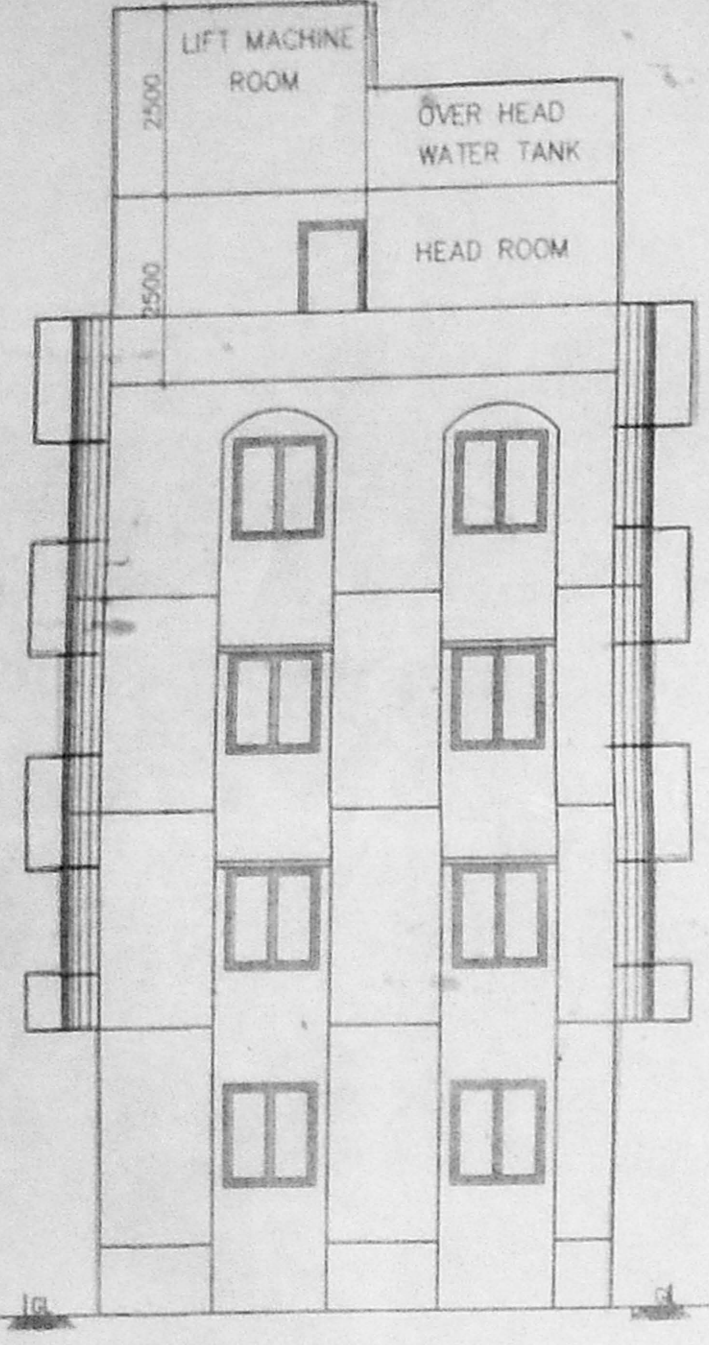


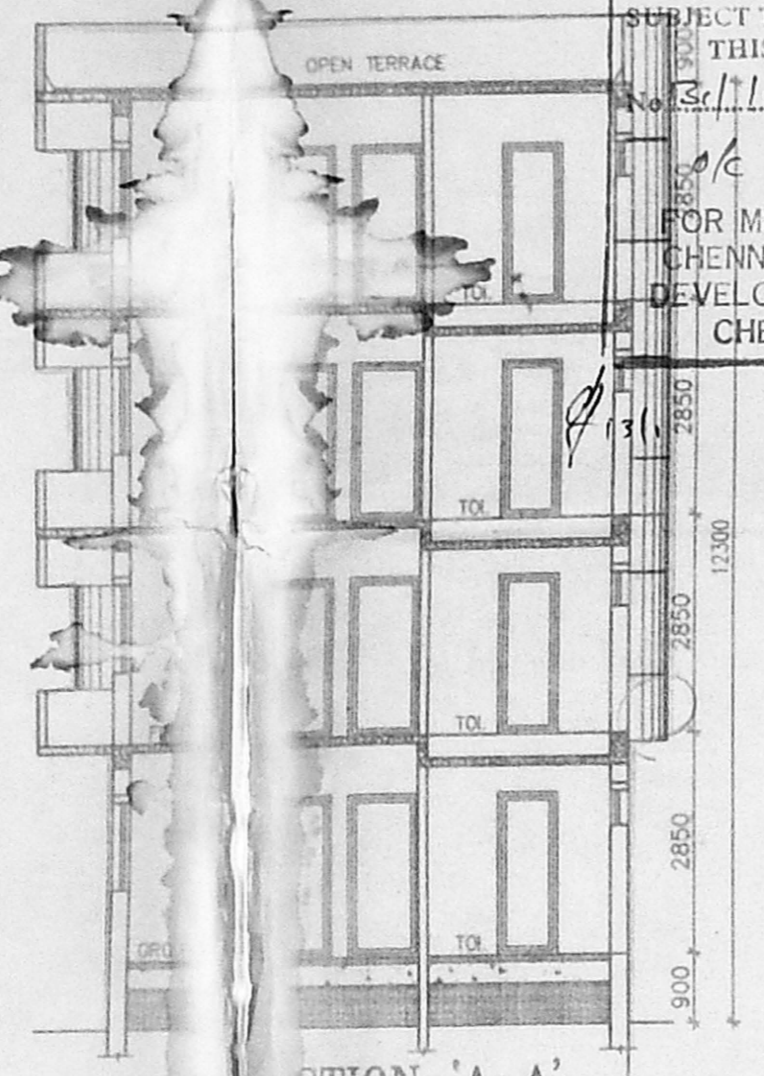
Revised Plan
Dt: 23/9/99

15/spl hddy 102/2000
Planning Permit No. 15/spl hddy 102/2000
APPROVED
SUBJECT TO THE CONDITIONS IN THIS OFFICE LETTER.
30/11/99 3.60/99 Date: 1/2000
FOR MEMBER SECRETARY
CHENNAI METROPOLITAN
DEVELOPMENT AUTHORITY
CHENNAI-600 008.

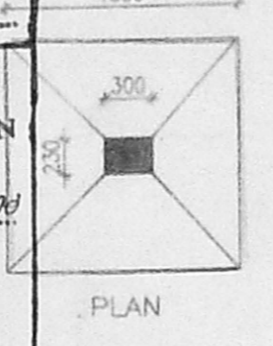
CMDA (B) / No. 1
C.No. 18360/99
APR 75
P.C.C. 18/04/10
SAND FILLING 2/4



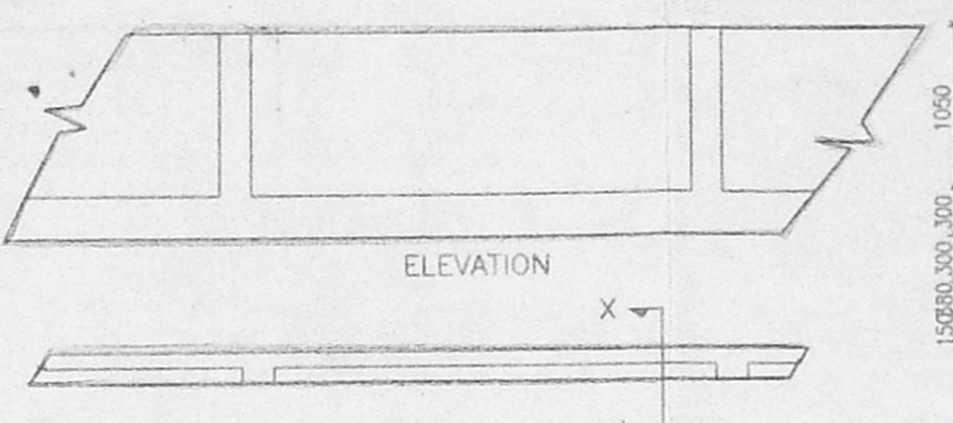
FRONT ELEVATION



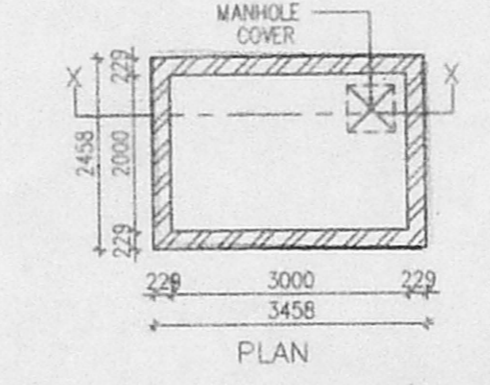
SECTION 'A-A'



FOUNDATION DETAIL
[SCALE: 1:50]



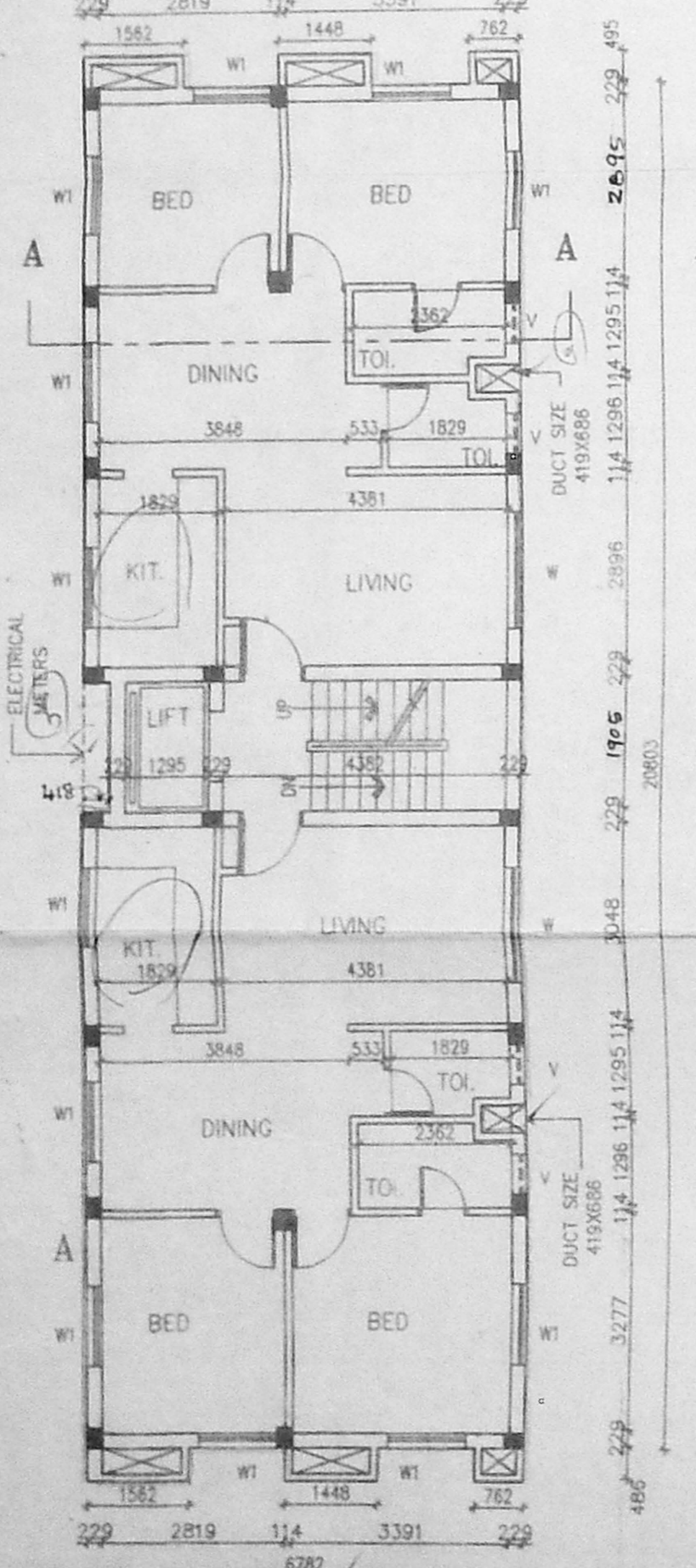
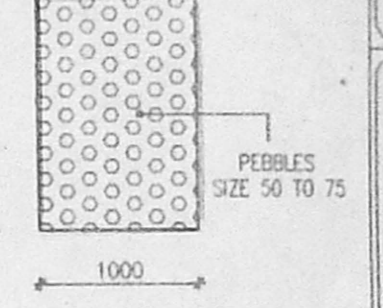
COMPOUND WALL DETAIL
[SCALE: 1:50]



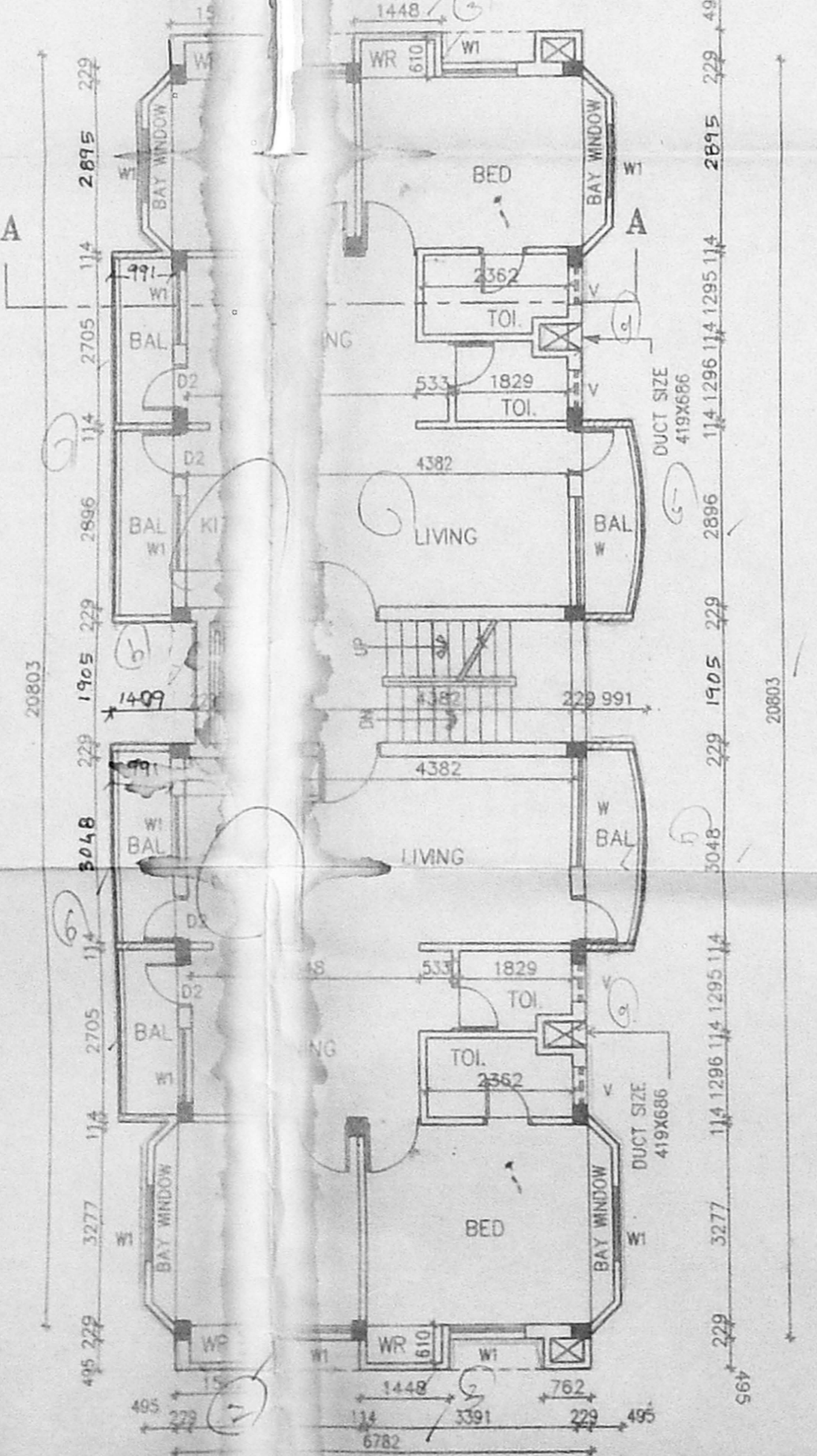
SUMP DETAIL

CARPARKING
NO. DEWELLING UNITS ABOVE 75 SQ.MT. = 3 NO'S
PARKING PROVIDED 3NO'S

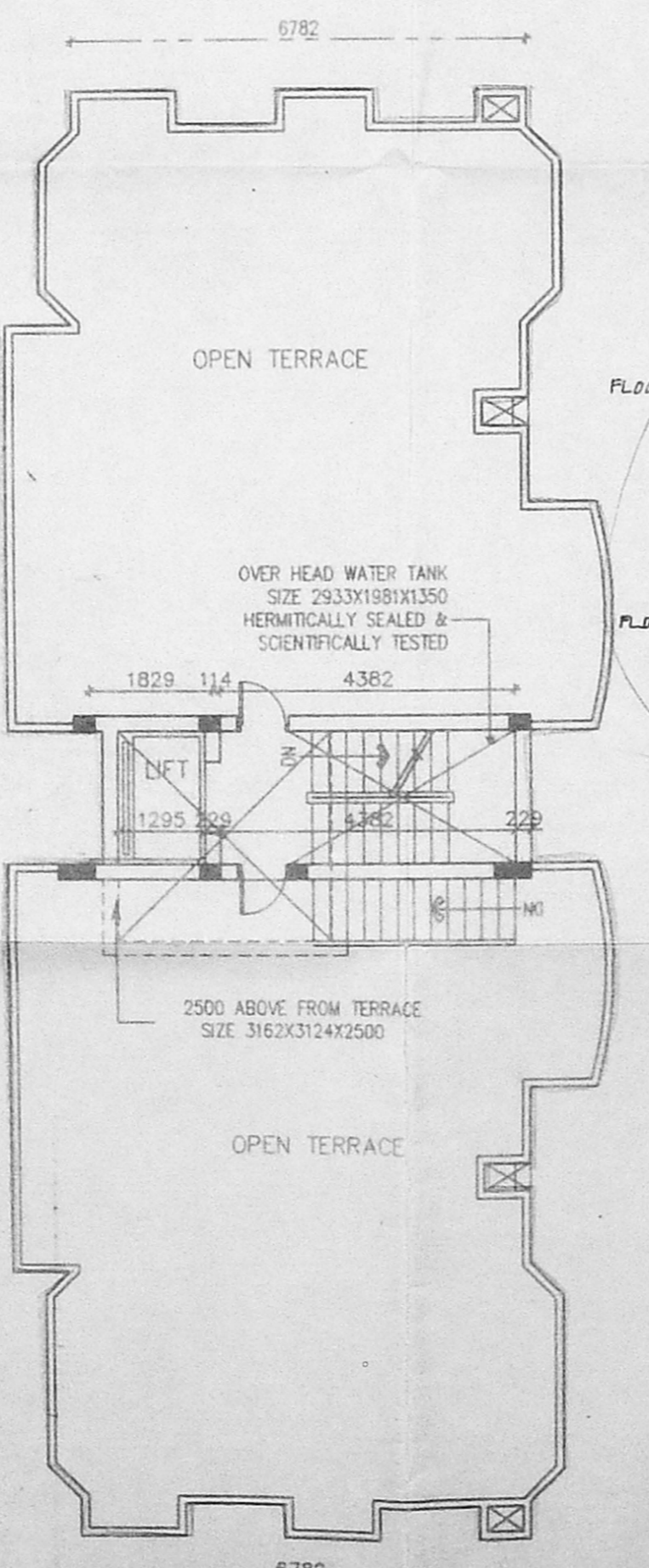
CONSERVATION OF RAIN WATER



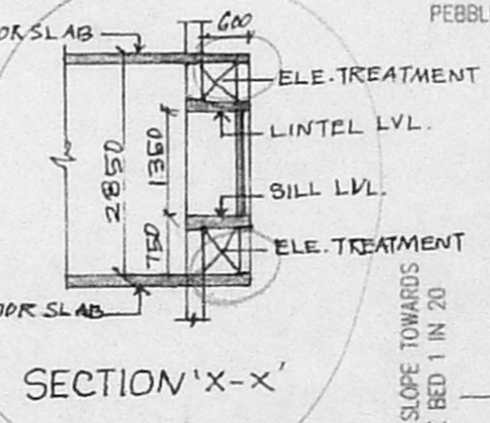
GROUND FLOOR PLAN



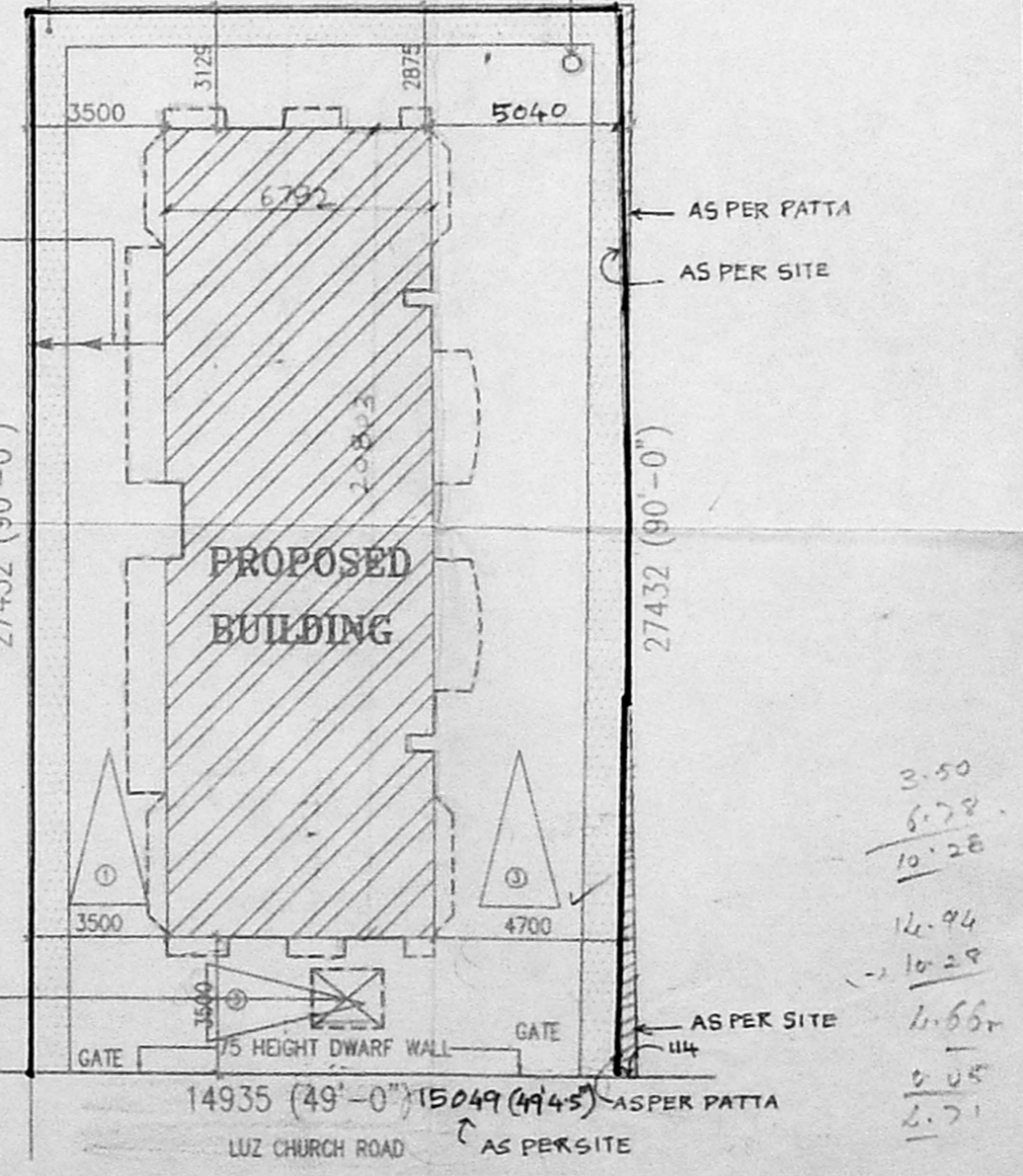
TYPICAL (1ST, 2ND & 3RD) FLOOR PLAN



TERRACE FLOOR PLAN



SECTION 'X-X'
TYPICAL BAY WINDOW DETAIL



SITE PLAN
[SCALE: 1:200]

SCHEDULE OF JOINERY:			
TYPE	DETAIL	WIDTH	HEIGHT
D	C.W. PANELLED DOOR	1067	2100
D1		914	2100
D2		762	2100
W	C.W. GLAZED WINDOW	1828	1350
W1	-DO-	1219	1350
W2	-DO-	1219	1050
V	-DO-	600	900
WR	WARD ROBE		

SPECIFICATION:
FOUNDATION : R.C.C COLUMN FOOTINGS
BRICK WORK : CM 1:5 FOR SUPER STRUCTURE
PLASTERING : CM 1:5 FOR WALLS & 1:3 FOR CEILING
FLOORING : MOSAIC FLOORING
CEMENT PAINT : 2.COAT FOR WALLS & 1.EXTRA COAT FOR CEILING
R.C.C : 1:2:4 FOR SLABS & LINTELS
WOOD WORK : ALL WOOD WORKS IN BEST QUALITY TIMBER
WEATHERING : BULLY LIME MORTAR OVER ROOF SLAB ONE LAYER OF COUNTRY TILES

COLOUR INDEX:
PROPOSED ROAD
BOUNDARY

AREA STATEMENT	SQ. M
TOTAL SITE EXTENT:	415.96
GROUND FLOOR	139.686
FIRST FLOOR	161.391
SECOND FLOOR	161.391
THIRD FLOOR	161.391
TOTAL BUILTUP AREA	623.859
GROUND COVERAGE:	38.79 %
F.S.I	1.499

PROPOSED BUILDING AT
DOOR NO: 60
R.S.NO: 3575/24 BLOCK NO.71,
LUZ AVENUE ROAD,
MYLAPORE, CHENNAI-4.

APL-CMDA SCALE : 1 : 100
NORTH POINT
DATE : 12/06/1999
DRAWN : D. Elumalai

OWNERS SIGNATURE
S.R. Lakshminarayana
ARCHITECT
W. ANAND
B.Arch, M.B.E.M., A.I.A.
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Council Reg. No. CA/88/11631
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